

Notice of Meeting



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Eastern Area Planning Committee

Wednesday, 26 April, 2023 at 6.30 pm

In the Council Chamber, Council Offices,
Market Street, Newbury

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If members of the public wish to attend the meeting they can do so either remotely or in person. Members of the public who wish to attend must notify the Planning Team by no later than 4.00pm on Tuesday 25 April by emailing planningcommittee@westberks.gov.uk.

Members Interests

Note: If you consider you may have an interest in any Planning Application included on this agenda then please seek early advice from the appropriate officers.

Date of despatch of Agenda: Tuesday, 18 April 2023

Further information for members of the public

Plans and photographs relating to the Planning Applications to be considered at the meeting can be viewed by clicking on the link on the front page of the relevant report.

For further information about this Agenda, or to inspect any background documents referred to in Part I reports, please contact the Planning Team on (01635) 519148 or email planningcommittee@westberks.gov.uk.

Further information, Planning Applications and Minutes are also available on the Council's website at www.westberks.gov.uk.

Any queries relating to the Committee should be directed to the Democratic Services Team by emailing executivecycle@westberks.gov.uk.



Agenda - Eastern Area Planning Committee to be held on Wednesday, 26 April 2023
(continued)

To: Councillors Graham Pask (Chairman), Alan Macro (Vice-Chairman), Jeremy Cottam, Alan Law, Tony Linden, Ross Mackinnon, Geoff Mayes, Richard Somner and Keith Woodhams

Substitutes: Councillors Graham Bridgman, Lee Dillon, Nassar Hunt, Owen Jeffery, Joanne Stewart and Andrew Williamson

Agenda

Part I

Page No.

1. **Apologies for absence**
To receive apologies for inability to attend the meeting (if any).
2. **Minutes** 5 - 20
To approve as a correct record the Minutes of the meeting of this Committee held on 15th March 2023.
3. **Declarations of Interest**
To remind Members of the need to record the existence and nature of any personal, disclosable pecuniary or other registrable interests in items on the agenda, in accordance with the Members' [Code of Conduct](#).
4. **Schedule of Planning Applications**
(Note: The Chairman, with the consent of the Committee, reserves the right to alter the order of business on this agenda based on public interest and participation in individual applications).
 - (1) **Application No. and Parish: 23/00072/RESMAJ, Stratfield Mortimer** 21 - 46
Proposal: Approval of reserved matters following Outline Permission 19/00981/OUTMAJ [Section 73: Variation of condition 6-approved plans of approved application 17/03004/OUTMAJ: This outline application comprises two parts: Part a) The erection of 110 dwellings including affordable housing, public open space and associated landscaping with all matters reserved other than access and layout; Part b) The erection of a 3FE Infant School and 900sq m GP surgery (Use Class D1) with shared parking area with all matters reserved other than access.] Matters seeking consent: Landscaping.
Location: Land south of Tower Gardens, Mortimer.

Agenda - Eastern Area Planning Committee to be held on Wednesday, 26 April 2023
(continued)

Applicant: TA Fisher and Sons Limited.

Recommendation: The Director of Development and Regulation be authorised to GRANT conditional approval.

Background Papers

- (a) The West Berkshire Core Strategy 2006-2026.
- (b) The West Berkshire District Local Plan (Saved Policies September 2007), the Replacement Minerals Local Plan for Berkshire, the Waste Local Plan for Berkshire and relevant Supplementary Planning Guidance and Documents.
- (c) Any previous planning applications for the site, together with correspondence and report(s) on those applications.
- (d) The case file for the current application comprising plans, application forms, correspondence and case officer's notes.
- (e) The Human Rights Act.

Sarah Clarke.

Sarah Clarke
Service Director – Strategy & Governance
West Berkshire District Council

If you require this information in a different format or translation, please contact Stephen Chard on telephone (01635) 519462.



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DRAFT

Note: These Minutes will remain DRAFT until approved at the next meeting of the Committee

EASTERN AREA PLANNING COMMITTEE

MINUTES OF THE MEETING HELD ON WEDNESDAY, 15 MARCH 2023

Councillors Present: Graham Pask (Chairman), Alan Macro (Vice-Chairman), Jeremy Cottam, Tony Linden, Ross Mackinnon, Geoff Mayes, Richard Somner, Keith Woodhams and Graham Bridgman (Substitute) (In place of Alan Law)

Also Present: Sharon Armour (Principal Lawyer – Planning and Governance), Jessica Bailiss (Democratic Services Officer), Paul Goddard (Team Leader - Highways Development Control), Lydia Mather (Development Control Team Leader), Emma Nutchey (Principal Planning Officer) and Lizzie Reeves (Zoom Host)

Apologies for inability to attend the meeting: Councillor Alan Law

PART I

27. Minutes

The Minutes of the meeting held on 16th November 2022 were approved as a true and correct record and signed by the Chairman.

28. Declarations of Interest

Councillor Alan Macro declared an interest in Agenda Item 4(1), but reported that, as his interest was a personal or an other registrable interest, but not a disclosable pecuniary interest, he determined to remain to take part in the debate and vote on the matter.

29. Schedule of Planning Applications

(1) Application No. and Parish: 21/03256/RESMAJ - Lakeside, The Green, Theale, Reading

(Councillor Alan Macro declared a personal interest in Agenda Item 4(1) by virtue of the fact that he lived fairly near to the site being discussed. As his interest was personal and not prejudicial or a disclosable pecuniary interest, he determined to remain to take part in the debate and vote on the matter.)

1. The Committee considered a report (Agenda Item 4(1)) concerning Planning Application 21/03256/RESMAJ in respect of an application for approval of reserved matters (appearance, landscaping, layout and scale) following outline planning permission 15/02842/OUTMAJ (allowed on appeal) - Outline application for residential development of up to 325 houses and apartments (including 70 extra-care units) with associated access, parking, amenity space and landscaping. All matters reserved.
2. Ms Emma Nutchey introduced the report to Members, which took account of all the relevant policy considerations and other material planning considerations. In conclusion the report detailed that the proposal was acceptable in planning terms and officers recommended that the Service Director - Development and Regulation be authorised to grant approval of reserved matters subject to the conditions listed in the main report and update reports.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

3. In accordance with the Council's Constitution, Ms Zoe Fenwick and Mr Gary Miles (Theale) Parish Council representatives, Ms Emma Runesson and Mr Jon Regent (Ridgepoint Homes), applicant, and Councillor Alan Macro, Ward Member, addressed the Committee on this application.

Parish/Town Council Representation

4. Ms Fenwick in addressing the Committee raised the following points:
 - Theale Parish Council had a lot of concerns regarding the development. It was appreciated that the number of dwellings proposed for the site had been reduced. There would still however be at least a 20 percent increase in the residential population of Theale if the proposal was approved.
 - It was asked what measures the Local Authority would put in place to make the development acceptable in planning terms in relation to the highways infrastructure. The road that traffic would join when exiting the site was already very busy particularly the roundabout. The proposal could generate an extra 600 vehicles movements on the road during peak times.
 - It was queried how the education needs of new residents would be catered for. Both schools in the area were already very well subscribed.
 - The sewage network was already at capacity. A further 300 homes would place increased pressure on to the network.
 - It was queried what community space was being incorporated into the development to help new residents become part of the wider Theale community. This also included green space and supporting the biodiversity as there were populations of nightingales and water voles that were particularly endangered. It was queried how the site would be brought in line with the Local Authority's own Environmental Strategy.
 - Ms Fenwick on behalf of Theale Parish Council requested that if the proposal was approved then the Local Authority consider removing PD rights to the properties so that attic, loft spaces and garages could not be converted as this would increase on street parking and also make access for emergency and utility vehicles difficult.
 - Finally Ms Fenwick stated that the Parish Council acknowledged the previously approved planning application however, pointed out that there were no other properties in the vicinity of the development that were over three storeys. It was felt that the height of some of the buildings proposed would damage the character of the area and the village itself.

Member Questions to the Parish/Town Council

5. Councillor Graham Bridgman highlighted that the Local Authority's parking policies did not count garages as part of the number of parking spaces. This was deliberate as it was known residents often converted garages. If garages were converted and the application complied with parking policies then the right number of spaces would remain even after any garages had been converted. Councillor Bridgman asked Ms Fenwick if she accepted this as a point of principle in the Committee's consideration of the application. Ms Fenwick confirmed that the Parish Council were aware of this point and explained that as families grew, garages became an obvious point for development which placed more cars on the road. Ms Fenwick understood it was included as part of the policy however, it was about considering people's future action.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

6. Councillor Bridgman stated that he had been looking at the decision the Local Authority had taken back in December 2016 and highlighted that he had been on the Committee at the time. One of the major points that had been raised by the Parish Council and residents was the height of the buildings proposed. He asked how effectively the Parish Council felt the outline permission dealt with the height of buildings on the site and if the current application was in compliance with it. Ms Fenwick reported that the Parish Council were aware that it was likely not much could be done however, wished to raise the point that there were no other buildings in the area of that height. The Parish Council had always been strongly opposed to the development since it had started to go through the planning process in 2004. The Parish Council wanted to preserve the character of the village as a whole. Councillor Bridgman stated he recalled activity around the site starting in 1994 when he had been a Governor at Theale Green School and even then it had been an area of contention.

Applicant Representation

7. Mr Regent in addressing the Committee raised the following points:
 - As detailed in the Committee report it was a brownfield site and had a long and varied planning history.
 - The application before Members had been negotiated with Officers over the last 16 months. The parameter plans had been identified and set out very clearly what could and could not be developed on the site. The Council's adopted policies had also been followed.
 - Mr Regent thanked Members, the Parish Council and residents for attending the site visit and stated that he wished to respond to each of the points raised.
 - Regarding scale, the site was capable of developing 325 dwellings and it was being proposed that only 299 be developed, which was a reduction of 26. Through the parameter plans it had been identified that three, four and even five storey units could be developed on the site, with ridge heights up to 14 metres. Nothing at five storeys was being proposed.
 - During the course of the negotiations several dwellings were removed from the reserved matters application and the storey heights were reduced in a number of locations. In particular at plot one, which was adjacent to 41 The Green. Changes had also been made to the southern lake edge in terms of the articulation of the proposed flats.
 - The dwellings on the green were generally fronting and reflecting a two storey development with rooms in the roof and were of a red brick character.
 - In terms of the relationship to houses on the north lakeshore, these had been designed in line with the parameter plans and the offset distances exceeded what was required.
 - The removal of PD rights on dwellings had recently been agreed, which had been one of the concerns raised by the Parish Council.
 - The extant permission had been agreed for 350 dwellings and Mr Regent reiterated that most of this was four and five storey. This was not something that would be pursued and the scheme before the Committee was preferred by Ridgepoint Homes, if Members were minded to approve it.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

- The Northshore area had been excluded from the area allocated for 350 dwellings and if the 350 was developed it was likely the scheme would increase to 400 dwellings. This was not what Ridgepoint Homes wished to do.
- It was hoped that Members could recognise the level of quality being sought from the development through the CGI plans. The design of the extant scheme was contemporary and not in keeping with the village of Theale.
- Regarding traffic the outline permission had been tested and subject to a traffic assessment and was below the necessary levels.
- Proposed parking exceeded the Local Authority's standards. There were no garages proposed as part of the scheme. Garages were proposed for the nine consented units but there were no garages proposed for the main site.
- There were extensive landscaped areas included within the proposal, including native planting agreed with the Tree Officer and Ecologist. This would mitigate the impact from the loss of any trees and contributed to the biodiversity net gain. The woodland in the south east corner would be retained and enhanced with a play area. There would be a footpath link to the station from the site. A Lakeland walk would be provided as part of the site, which was over one kilometre going all the way around the lake and would be accessible to those living in and outside of the development.
- Regarding local facilities, Ridgepoint Homes fully appreciated the impact developments placed on local services. If the scheme was approved then there would be a CIL contribution of £2m towards the Local Authority. Mr Regent believed that part of the contribution would go to the parish, which might not fully mitigate all problems experienced but would help.
- In conclusion Mr Regent thanked Planning Officers for their report and for working with Ridgepoint Homes over the past 16 months. Mr Regent asked for Members' support on the application to enable delivery on the brownfield site that had been outstanding for many years.

Member Questions to the Applicant/Agent

8. Councillor Bridgman noted that when presenting the report, Planning Officers rightly stated that consideration needed to be given to the current application and not the other two extant applications however, he wished to explore the process of the application with Mr Regent. Councillor Bridgman noted that Mr Regent had referred to 290 dwellings including 70 extra care units. The intention, as he understood it, was to replace the 70 units, if an application was submitted and successful, with 54 units in order to do two things. Firstly, change the profile but also achieve a 30 percent brownfield percentage of affordable housing as opposed to the 40 percent referred to in the Parish Council's objection to the application for 54. Councillor Bridgman asked Mr Regent if he was right in understanding that this was the intention if all applications with the Local Authority were approved. Councillor Bridgman understood that the figure of 70 extra care units was a historic figure and stated that he was intrigued by the thought process behind it. He queried whether any modelling had been carried out on demand.
9. In response to Councillor Bridgman, Mr Regent confirmed that his figures were correct and they would be seeking to reduce the numbers further. The outline permission was subject to a viability assessment and under this assessment it was agreed that there would be 12.5 percent affordable housing put forward which equated to 41 dwellings. The market had been tested to see if there was demand for

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

a care home. Numerous operators had been approached and there had been very little interest although it was acknowledged that the property market was currently very challenging. There was a risk that a position would be reached where all the infrastructure was delivered whilst having an area of the site that was unlikely to be put forward due to there not being an operator in place. In discussions with Officers, including the Affordable Housing Team, the alternative of getting rid of the late stage review mechanism in the unilateral had been explored as had the submission of 30 percent affordable housing. It was hoped that when this was submitted it would be considered as something positive by Members.

10. Councillor Geoff Mayes had noted from the drawings that there was a bridge and causeway proposed for the lake and he queried if this was going to be included if permission was granted. Mr Regent stated that as part of the outline masterplan there were indicative masterplans put forward to explain what the constraints of the site were. The bridge or causeway referred to had formed part of the original indicative plans and would not form part of the current proposal if approved. Instead there would be an extended walkway around the lake.

Ward Member Representation

11. Councillor Macro in addressing the Committee raised the following points:
 - The site had been described as scrub land, which was accurate at the current time however, he had lived in the area many years and had often walked around the lake, which was very pleasant and amongst trees. There had been various land management and owners over the years and many trees had been felled leading to the site not being as attractive as it once was.
 - Councillor Macro agreed with the Parish Council's concerns regarding the height of buildings and density of the site, which he did not feel was appropriate for the age of the village. The area was stuck with the development following the Appeal Inspector's decision.
 - It had been mentioned as part of the appeal that high density was required for viability purposes. Councillor Macro thought viability would have been considered when the land was purchased rather than when it was built out.
 - Councillor Macro's major concern was regarding noise from the bypass, which had increased dramatically since many of the trees had been felled. He had found a document on the website called the 'Noise Control Scheme' which was a report on noise modelling and included monitoring information for validation purposes. Councillor Macro stated that he had issues with this monitoring in that it was done on the 21st – 22nd October 2021 and the 22nd had fallen during half term. This was also at a time when the country was recovering from Covid and therefore the traffic levels were much lower. There were particular spots along the bypass that were only monitored between 11.40am and 2.40pm, missing the peak times and also school traffic. Councillor Macro felt that the monitoring had therefore not been completed when the traffic was at its maximum.
 - Councillor Macro requested, if the Committee was minded to approve the application, that the area be subjected to further traffic monitoring being completed at times that were more appropriate and typical. The modelling could then be revalidated and if required noise prevention measures could be looked at again.
 - Councillor Macro noted that the Planning Officer had mentioned the 1.8m border fence. This was only along the bypass and did not continue on along the roundabout where there would only be post and rail fencing. The extra care homes

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

would therefore be exposed to full traffic noise from vehicles using the roundabout and also headlights.

- Councillor Macro noted in the Drainage Officer's report that piling would be used where the flats were proposed. He therefore requested that the standard piling condition be added if permission was granted.

Member Questions to the Ward Member

12. Councillor Bridgman sought clarification of the position of the Local Authority on the original application. He noted that Councillor Macro had referred to the appeal and Councillor Bridgman had assumed this had been an appeal against the refusal of planning permission, but it had actually been an appeal on other grounds. Councillor Bridgman asked Councillor Macro if he agreed that the decision of the Eastern Area Planning Committee in January 2017 was to grant planning permission on the basis of the outline proposal. Councillor Macro was unable to provide clarification on this point. Councillor Bridgman confirmed he had the minutes of the meetings and that this was the case.
13. Councillor Ross Mackinnon queried if it would be fair to assume that traffic on the roundabout would be travelling at a much lower speed than along the bypass and therefore a higher level of noise abatement might not be required. Councillor Mackinnon however, agreed regarding the impact from headlights. Councillor Macro agreed the traffic would be going slower however, would be changing gear. There would be more traffic than on the bypass because there would be traffic coming from the Pangbourne direction and from Theale heading towards Newbury or towards Pangbourne. Also, on the opposite side of the bypass to the site, there was a large number of depots supplying aggregate, cement, asphalt and oil and therefore many trucks emanated from there during the day. At night there were also increased numbers of HGVs originating from Thatcham travelling towards the M4 that would need to negotiate the roundabout. This could cause a lot of disruption at night.

Member Questions to Officers

14. Councillor Macro noted that Mr Regent had described the land as a brownfield site, which was not technically correct as it was a restored mineral working area. Ms Nutchey reported that this matter had been looked at in detail including the definition in the National Planning Policy Framework (NPPF) and a conclusion had not been reached regarding whether the land was brownfield or greenfield. The land had been restored, however what was material to the current application included looking at the extant permissions, which could have been implemented.
15. Councillor Richard Somner noted that 600 vehicle movements had been mentioned. The highways report within the paperwork focused on parking and Councillor Somner therefore asked Mr Goddard if he had any data regarding vehicle movements. The Chairman provided Mr Goddard with time to locate any information that he had available and moved on to the next question.
16. Councillor Somner highlighted that the other area that had been raised was the land at the roundabout end of the site. He asked if Ms Nutchey had any plans that showed landscaping in this area. He was conscious of development currently taking place at Dorking Way, which backed on to the motorway. For the Dorking Way development there was a fence that went along the motorway section however, it did not continue up to the roundabout, which felt like a similar situation to the current application. Councillor Somner asked if Ms Nutchey had any information to inform the Committee about that end of the site.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

17. Ms Nutchey reported that a noise assessment had been undertaken, which had assessed noise across different areas of the site. A conclusion had been reached that an acoustic fence was not required. The scheme had been designed with its proximity to the road in mind. Buildings would be set back and double glazed with gardens set behind the buildings so the building would effectively become a noise barrier. The extra care units looked on to the roundabout but wrapped around the amenity space, meaning it would be quieter. Landscaping was proposed to supplement screening and be a barrier to noise.
18. Councillor Bridgman stated that he had a point of clarification for Councillor Macro's benefit whilst waiting for the information from Mr Goddard. He stated that he had been looking at the previous decision and stated that 40 percent affordable housing was what had been recommended by Officers. There was no percentage included in the minutes but it was likely included in the Part II debate. The number the Committee had agreed on was 27. Councillor Bridgman stated that the decision that had been taken was indicative because the appeal had already commenced for non-determination.
19. In response to Councillor Somner's question regarding traffic figures, Mr Goddard explained that the site had a very long history of planning consent. The second outline application in 2015 had projected 1158 traffic movements (half travelling in and half travelling out of the site) per day. During peak hours 142 traffic movements had been projected. The scheme included in the current planning application was a little bit smaller and included a care home rather than houses. Taking this in to account the projection could be amended to 1056 movements per day. During peak hours of the day about 130 traffic movements would be expected.
20. The Chairman raised the point that the Ward Member had asked about further noise monitoring. He asked if this was a legitimate request for the Committee to make if it was minded to grant permission. Ms Nutchey reported that the application was accompanied by a noise survey. The survey had been reviewed by Environmental Health and they were satisfied that the survey had been carried out in accordance with the required standards. There was also a condition on the outline permission which required noise levels not to exceed certain volumes and the scheme adhered to this. Ms Nutchey did not believe it would be reasonable to add a further condition regarding noise monitoring as it was an area that had already been explored.

Debate

21. Councillor Tony Linden stated the site had a very long history and recalled it receiving planning permission in the mid 1980s when he joined the Local Authority. His personal view was that the site had planning permission for a much larger number of dwellings, if the care home area was excluded. Councillor Linden felt that the proposal was a vast improvement on this and therefore he was minded to support the Officer's recommendation.
22. Councillor Jeremy Cottam stated that he was very concerned about the noise impact on residents. He encouraged the Committee to look again at whether acoustic fencing should be provided. There was a risk of a precedent being set. Fencing near the M4 was much further back whereas for the current application the fencing was adjacent to the A4. Councillor Cottam felt that future noise proofing needed to be provided to cope with the rising levels of traffic including HGVs. If there was a break in a barrier it reduced the effect of preventing the noise. The site was extremely close to a major road that saw around 22000 vehicle movements per day and therefore Councillor Cottam felt this justified further noise protection measures being put in place.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

23. Councillor Somner referred back to acoustic fencing. He stated that there were two areas with acoustic fencing within his ward including the Dorking Way development and the other was along the A4. The acoustic fencing in these areas was very efficient. Regarding the Dorking Way development, there was no acoustic fencing by the roundabout and this had been mentioned several times at site visits, including since development of the site at Dorking Way has started.
24. Councillor Somner was aware of the long history of the site and he felt that the proposal could be good for the area in some ways as it would tidy up the area. The design of the development looked sympathetic and was not completely out of context for the area. Councillor Somner stated he was leaning towards supporting the application.
25. The Chairman asked for the Planning Officer's guidance regarding the acoustic fencing. He understood the points that had been made about acoustic fencing and that the relevant experts, including Environmental Health Officers, had not put in a condition recommending it. Given the situation he sought guidance on what flexibility there was or if it would be unreasonable to add a condition. Ms Nutchey explained that the Committee needed to bear in mind that conditions needed to be reasonable and necessary to make the development acceptable. The application was supported by the noise survey, which concluded an acoustic fencing was not necessary and therefore Ms Nutchey stated she would be concerned about the inclusion of a condition. If it was however a strong concern for Members then it was probably something the applicant could address through a condition. The Chairman queried if an advisory could be included rather than a condition, which stated that acoustic fencing could be provided in the future if needed on completion of the development. The Chairman had listened to Ms Nutchey explain that the buildings had been arranged in such a way as to form a noise barrier and he was concerned about adding a condition that was not legitimate.
26. Ms Mather stated that she had looked at the detail of the noise assessment and it relied on treatment to the facade of the buildings and windows to reduce the sound levels and was why an acoustic fence was not proposed. The development could meet the maximum noise levels in the condition the Inspector had applied as shown in the noise assessment. The Chairman stated that the reason why he was probing the matter was because he was aware that there were similar and even taller buildings that had an extant permission that a Planning Inspector would have been aware of when taking the noise in to the account. The Chairman was concerned about adding conditions when the scheme under consideration was broadly similar to a scheme that did not have acoustic fencing. It was important that any condition added was reasonable.
27. Councillor Macro stated that he had not necessarily been asking for an acoustic barrier but rather that the monitoring be repeated in a more typical environment. If this then indicated that an acoustic barrier was required then this would have to be dealt with. Councillor Macro also noted the other application to replace the extra care provision with flats and this was relying on the same monitoring period. Any further monitoring would cover two planning applications. The Chairman accepted the point however, reminded the Committee that they had to consider the application in front of them.
28. Councillor Bridgman agreed that the focus was on the current application. He agreed entirely with the point about the extra care housing. There was an application based on an extant permission for the 70 extra care units. He understood that the applicant's intention had been to provide a care home.

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

29. Regarding noise, Councillor Bridgman stated that there was an extant permission for more dwellings than what was being proposed. He was always keen to ameliorate the impact of development and when an applicant came forward with a smaller scheme than they had permission for, he was minded to view this favourably. Regarding the issue of noise, this would also depend on the market and whether people would buy properties that faced directly on to the road if acoustic fencing was not in place. Councillor Bridgman stated he was minded to support the application.
30. Councillor Linden referred to the matter of the acoustic fencing and the Dorking Way development where he had noticed the noise. There was also the Theale Community Fire Station in the area, which suffered noise as well as the Police operating from the station. Councillor Linden referred to the points made by Ms Mather and stated that people did enjoy spending time outside of their properties and noise was not just a factor inside of buildings.
31. Councillor Somner raised a concern about the increased population for Theale and available health care facilities if the development went ahead, which he was aware was a key concern of his local Parish Council. He understood it was not about providing doctors, which was a separate conversation.
32. Councillor Somner proposed to accept Officer's recommendation and grant planning permission subject to the conditions listed in the main report and update report. This was seconded by Councillor Bridgman.
33. Councillor Macro stated he was disappointed about the noise issue and asked that the standard piling condition be included. Ms Nutchey explained that a piling condition had been included in the outline application. It was a matter that was normally dealt with at the outline stage and the inspector had dealt with it appropriately. It was therefore not felt it would be necessary to include the condition again at the current stage.
34. Councillor Cottam referred to Councillor Linden's comments regarding people enjoying the area where they lived. Unless the units were air conditioned residents would need to open their windows in the summer. He understood why other Councillors would vote in favour of permission being granted however, it was an important point for him. Noise could ruin people's lives and the small addition of some acoustic fencing would be beneficial.
35. The Chairman invited Members of the Committee to vote on the proposal by Councillor Somner, seconded by Councillor Bridgman to grant planning permission. At the vote the motion was carried.

RESOLVED that the Service Director for Development and Regulation be authorised to grant planning permission subject to the following conditions:

Conditions

1.	Commencement of development This approval relates solely to the reserved matters referred to in condition 2 of the outline planning permission granted at appeal on 15 th March 2017 under appeal reference APP/W0340/W/16/3159722. Nothing contained in this proposal or this notice shall be deemed to affect or vary the conditions applied to that outline planning permission. Reason: For the clarity and the avoidance of doubt. The reserved matters cannot be considered separately from the permission to which they relate
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EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

	and the conditions applied on that outline permission are still applicable.
2.	<p>Approved plans</p> <p>The development hereby permitted shall be carried out in accordance with the approved plans and documents listed on the Document List titled '21/03256/RESMAJ – Application for the approval of reserved matters pursuant to outline planning consent ref: 15/02842/OUTMAJ.'</p> <p>Reason: For the avoidance of doubt and in the interest of proper planning.</p>
3.	<p>Sample of materials</p> <p>No works in any phase shall take place above slab level until samples and an accompanying schedule of the materials to be used in the construction of the external surfaces of the development for that phase hereby permitted, have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development of that phase shall be carried out in accordance with the approved materials.</p> <p>Reason: To ensure that the external materials respect the character and appearance of the area. This condition is applied in accordance with the National Planning Policy Framework, Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026) and Supplementary Planning Document Quality Design (June 2006). A pre-commencement condition is required because the approved materials will be used throughout construction.</p>
4.	<p>Ground levels and finished floor levels</p> <p>No development shall take place until details of existing and proposed ground levels, and finished floor levels of the dwellings for that phase have been submitted to and approved in writing by the Local Planning Authority. Thereafter the development shall be carried out in accordance with the approved details.</p> <p>Reason: To ensure a satisfactory relationship between the proposed development and the adjacent land. These details are required before development commenced because insufficient information accompanies the application, and the agreed details will affect early construction activities. This condition is applied in accordance with the National Planning Policy Framework, Policies ADPP5, CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), and the Quality Design SPD (June 2006).</p>
5.	<p>Boundary Treatments</p> <p>No dwelling shall be occupied until the boundary treatment for that property has been constructed in accordance with the approved details as shown on the drawing titled Hard Landscape drawing number RID22928-12H. Notwithstanding this no dwelling in phase 2 shall be occupied until the 1.8m high close board fence adjacent to the A4 has been erected in accordance with the approved plans. Thereafter the approved boundary treatment shall be retained.</p> <p>Reason: The design and appearance of the boundary treatments are an integral element of achieving good design. The fencing also has important acoustic qualities. This condition is applied in accordance with the National</p>

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

	<p>Planning Policy Framework, Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), and the Quality Design SPD.</p>
<p>6.</p>	<p>Condition 27 of the outline</p> <p>No dwelling shall be occupied until the measures necessary to limit externally generated noise as detailed in the report titled Noise Control Scheme by Bickerdike Allen Partners dated 20 June 2022 have been implemented in full in accordance with the approved details and thereafter retained.</p> <p>Reason: This information has been submitted in accordance with condition 27 of the outline and the works are deemed necessary to mitigate any noise impacts on future residents in accordance with Policy CS14 of the Core Strategy and the guidance within the National Planning Policy Framework.</p>
<p>7.</p>	<p>Landscaping</p> <p>All landscape works shall be completed in accordance with the submitted ten ACD Environmental plans plus schedule, reference drawing numbers RID22928-11L dated Nov 2021 updated 22.02.23.</p> <p>The approved landscaping plan shall be implemented within the first planting season following completion of development.</p> <p>Any trees, shrubs or hedges planted in accordance with the approved scheme which are removed, die, or become diseased within five years from completion of this development shall be replaced within the next planting season by trees, shrubs or hedges of a similar size and species to that originally approved.</p> <p>Reason: Required to safeguard and enhance the character and amenity of the area, to provide ecological, environmental and bio-diversity benefits and to maximise the quality and usability of open spaces within the development, and to enhance its setting within the immediate locality. This is to ensure the implementation of a satisfactory scheme of landscaping in accordance with the National Planning Policy Framework and Policies ADPP1, CS14, CS17, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026.</p>
<p>8.</p>	<p>Arboricultural Method Statement</p> <p>The Arboricultural Method Statement and tree protection measures within Keen Consultants report ref: 1745-KC-MS-YTREE-MethodStatement-RevC dated August 2022 shall be implemented in full and tree protection measures and works carried out in accordance with the Assessment. No changes shall be made to the works unless amendments have been submitted to and approved in writing by the Local Planning Authority and shall include details of any changes to the implementation, supervision and monitoring of all temporary tree protection and any special construction works within any defined tree protection area.</p> <p>Reason: To ensure the protection of trees identified for retention at the site in accordance with the objectives of the National Planning Policy Framework and Policies ADPP5, CS14, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026.</p>

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

9.	Electric vehicle charging point No dwelling shall be occupied until details of an electric vehicle charging point for that property have been submitted to and approved in writing by the Local Planning Authority. The dwelling thereafter shall not be occupied until the charging point has been installed in accordance with the approved plans and shall thereafter be retained and kept available for the potential use of an electric car Reason: To promote the use of electric vehicles. This condition is imposed in accordance with the National Planning Policy Framework, Policies CS13 and CS14 of the West Berkshire Core Strategy (2006-2026), Policy P1 of the Housing Site Allocation DPD and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).
10.	Visibility splays within the site No dwelling shall be occupied until the visibility splays within the site have been provided in accordance with drawing number 6782.010 D dated November 2021. The land within these visibility splays shall thereafter be kept free of all obstructions to visibility over a height of 0.6 metres above the carriageway level. Reason: In the interests of road safety. This condition is imposed in accordance with the National Planning Policy Framework and Policy CS13 of the West Berkshire Core Strategy (2006-2026).
11.	Parking/turning in accordance with plans No dwelling shall be occupied until the associated vehicle parking and turning space have been surfaced, marked out and provided in accordance with the approved plans. The parking and turning space shall thereafter be kept available for parking (of private motor cars and/or light goods vehicles) at all times. Reason: To ensure the development is provided with adequate parking facilities, in order to reduce the likelihood of roadside parking that would adversely affect road safety and the flow of traffic. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS13 of the West Berkshire Core Strategy (2006-2026) and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).
12.	Cycle parking No dwelling shall be occupied until the associated cycle parking has been provided in accordance with the approved drawings and this area shall thereafter be kept available for the parking of cycles at all times. Reason: To ensure the development reduces reliance on private motor vehicles and assists with the parking, storage and security of cycles. This condition is imposed in accordance with the National Planning Policy Framework, Policy CS13 of the West Berkshire Core Strategy (2006-2026) and Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007).

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

13.	<p>Bat and Bird Boxes</p> <p>No dwelling hereby approved shall be occupied until the bat and/or bird boxes for that particular unit have been installed in accordance with the approved details shown on Soft Landscape plan RID22928-11L. The bat and/or bird boxes shall thereafter be retained in accordance with the approved details.</p> <p>Reason: To ensure biodiversity enhancements are incorporated into the development. This condition is applied in accordance with the National Planning Policy Framework, and Policy CS17 of the West Berkshire Core Strategy 2006-2026.</p>
14.	<p>Floating Ecosystem modules</p> <p>Prior to the sale of the final property on the site the 3 floating ecosystem modules as detailed on Soft Landscape plan RID22928-11L shall be positioned within the lake in accordance with the approved plans and thereafter retained.</p> <p>Reason: To ensure biodiversity enhancements are incorporated into the development. This condition is applied in accordance with the National Planning Policy Framework, and Policy CS17 of the West Berkshire Core Strategy 2006-2026.</p>
15.	<p>Removal of PD rights for fencing around the lake</p> <p>Notwithstanding the provisions of Article 3 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking, re-enacting or modifying that Order with or without modification), no gates, fences, walls or other means of enclosure around the lake which would otherwise be permitted by Schedule 2, Part 2, Class A of that Order shall be erected, constructed, or materially altered without planning permission being granted by the Local Planning Authority on an application made for that purpose. This restriction excludes any development expressly permitted by this permission, and does not prevent repairs or replacements (in full or in part) that do not materially affect the external appearance of any gate, fence, wall or other means of enclosure.</p> <p>Reason: To prevent the erection of such development which may have an adverse impact on the open character and appearance of the lake which is a feature within the site. This condition is applied in accordance with the National Planning Policy Framework, Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), Quality Design SPD (June 2006).</p>
16.	<p>Permitted development restriction (windows/dormers) plots 11-25</p> <p>Notwithstanding the provisions of Article 3 of the Town and Country Planning (General Permitted Development) (England) Order 2015 (or any order revoking, re-enacting or modifying that Order with or without modification), no windows/dormer windows (other than those expressly authorised by this permission) which would otherwise be permitted by Schedule 2, Part 1, Classes A, B and/or C of that Order shall be constructed at a first floor level or above in the north facing elevation of plots 11 to 25 inclusive as hereby permitted, without planning permission being granted by the Local Planning Authority on an application made for that purpose.</p>

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

	<p>Reason: To prevent overlooking of adjacent properties/land, in the interests of safeguarding the privacy of the neighbouring occupants. This condition is applied in accordance with the National Planning Policy Framework, Policy CS14 of the West Berkshire Core Strategy (2006-2026), Quality Design SPD (2006) and House Extensions SPG (July 2004).</p>
<p>17.</p>	<p>Road and footpath design</p> <p>For roads serving more than five dwellings, the detailed layout of the site shall comply with the Local Planning Authority's standards in respect of road and footpath design to an adoptable standard (unless exclusions apply). No works shall commence in respect of the construction of the sub-base of the associated roads and footpaths until details of highway construction have been submitted to and approved in writing by the Local Planning Authority. All road and footpath design shall then be constructed as per the approved plans. This condition shall apply notwithstanding any indications to these matters which have been given in the current application.</p> <p>Reason: In the interest of road safety and flow of traffic and to ensure waste collection. This condition is imposed in accordance with the National Planning Policy Framework (March 2012), Policy CS13 of the West Berkshire Core Strategy (2006-2026), Policy TRANS1 of the West Berkshire District Local Plan 1991-2006 (Saved Policies 2007) and West Berkshire Standard Detail Drawings January 2016.</p>
	<p>Informatives:</p>
<p>1.</p>	<p>This decision has been made in a positive way to foster the delivery of sustainable development having regard to Development Plan policies and available guidance to secure high quality appropriate development. The local planning authority has worked proactively with the applicant to secure a development that improves the economic, social and environmental conditions of the area.</p>
<p>2.</p>	<p>The development hereby approved results in a requirement to make payments to the Council as part of the Community Infrastructure Levy (CIL) procedure. A Liability Notice setting out further details, and including the amount of CIL payable will be sent out separately from this Decision Notice. You are advised to read the Liability Notice and ensure that a Commencement Notice is submitted to the authority prior to the commencement of the development. Failure to submit the Commencement Notice will result in the loss of any exemptions claimed, and the loss of any right to pay by instalments, and additional costs to you in the form of surcharges. For further details see the website at www.westberks.gov.uk/cil</p>
<p>3.</p>	<p>The Council has emerging highway design standards requiring all roads serving more than five dwellings to designed, constructed and adopted as public highway via a Section 38 Agreement. This Council does apply the Advanced Payment Code Under section 220 of the Highways Act 1980, and it will be applied to all roads serving more than five houses within the site. The expected monies being paid to the Council, will be the equivalent of the cost of constructing the above roads within the site using the Councils rates. The monies obtained would cover the cost for the Council in needing to reconstruct adoptable assets, if required to do so, including by residents. Of</p>

EASTERN AREA PLANNING COMMITTEE - 15 MARCH 2023 - MINUTES

	course any section 38 Agreement, does enable said monies to be returned upon adoption.
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(The meeting commenced at 6.30 pm and closed at 7.35 pm)

CHAIRMAN

Date of Signature

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Agenda Item 4.(1)

4(1) 23/00072/RESMAJ 3rd May 2023
Stratfield Mortimer

Approval of reserved matters following Outline Permission 19/00981/OUTMAJ [Section 73: Variation of condition 6- approved plans of approved application 17/03004/OUTMAJ: This outline application comprises two parts: Part a) The erection of 110 dwellings including affordable housing, public open space and associated landscaping with all matters reserved other than access and layout; Part b) The erection of a 3FE Infant School and 900sq m GP surgery (Use Class D1) with shared parking area with all matters reserved other than access.] Matters seeking consent: Landscaping.

Land south of Tower Gardens,
Mortimer.

TA Fisher and Sons Limited.

1

To view the plans and drawings relating to this application click the following link:
<http://planning.westberks.gov.uk/rpp/index.asp?caseref=23/00072/RESMAJ>

Recommendation Summary: The Director of Development and Regulation be authorised to GRANT conditional approval.

Ward Member(s): Councillor Bridgman.

Reason for Committee Determination: Ward Member call in, if officer recommendation to approve and the Parish Council object to the application.

Committee Site Visit: 19th April 2023.

Contact Officer Details

Name: Michael Butler
Job Title: Principal Planning Officer
Tel No: 01635 519111
Email: Michael.butler@westberks.gov.uk

1. Introduction

- 1.1 This application seeks reserved matters approval for further landscaping details following outline planning permission 19/00981/OUTMAJ, which itself was a s73 approval to vary the approved plans of condition 6 following the original outline approval in 2017. Reserved matters for phase 1, 2a and 2b for some landscaping details, scale and appearance have also been approved. The site is an allocated housing site in the local parish neighbourhood development plan. The changes granted under 19/00981/OUTMAJ to condition 6 amended the site layout including the public open space plan to the south of the site, where planting and footpaths were all approved.
- 1.2 The applicant has now had the opportunity to examine the engineering/structural details more fully in relation to the south area around phase 2b of the scheme and to the public open space. The proposal is to include a new crib/timber retaining wall to the south of the gardens of plots 51 to 58, to allow for an appropriate transition between the rear gardens and the remaining open space area. The retaining structure will be 192m in length and it will be curved. It will vary in height from between 2 and 5m in height across the horizontal line. It will be topped out by a 1.2m high vertical timber boarded fence. At the lower end of the wall will be placed an anti-climbing mesh.
- 1.3 This retaining structure was not indicated in the initial approved plans. It is necessary to stress that the total area of the public open space and the siting will not alter if these details are approved, nor will any of the location and siting of the as approved dwellings in the overall permission. However a number of the footpaths locations leading down from the site into the public open space will be revised.
- 1.4 For information/clarity the existing s106 agreement relating to the original outline permission granted under 17/03004/OUTMAJ will still apply. This is important given the affordable housing and public open space provisions which will still apply to the reserved matters.

2. Planning History

- 2.1 The table below outlines the relevant planning history of the application site.

Application	Proposal	Decision / Date
17/03004/OUTMAJ	Erection of 110 dwellings with associated public open space, highways works, school and surgery site.	Approved February 2019.
19/01715/RESMAJ	Reserved matters approval for phase 1 of the site –28 dwellings.	Approved October 2019.
19/00981/OUTMAJ	Variation of approved plans condition on 17/03004/OUTMAJ.	Approved June 2019.
21/02347/RESMAJ	Reserved matters approval for phase 2a—16 dwellings	Approved February 2022.
22/01422/RESMAJ	Reserved matters approval for phase 2b –14 dwellings.	Approved June 2022.

2.2 Just for the Committee information application number 23/00297/RESMAJ for phase 3 on the site for 52 dwellings is now currently before officers of the Council for consideration.

3. Procedural Matters

3.1 It is not considered that the application requires to be screened under the 2017 Environmental Impact Assessment Regulations.

3.2 Site notice erected 16th February 2023. Expiry 9th March 2023. Advertisement in the Reading Chronicle 16th February 2023.

3.3 The application if approved, will be CIL liable.

4. Consultation

Statutory and non-statutory consultation

4.1 The table below summarises the consultation responses received during the consideration of the application. The full responses may be viewed with the application documents on the Council's website, using the link at the start of this report.

Parish Council	Firstly pleased with the planting programme across the site for the public open space. Secondly, approve the hoggin footpaths. Thirdly, object to the proposed retaining walls due to their proposed height and location, which will cause a visual impact. This is contrary to the advice in policy SDB1 in the neighbourhood development plan which seeks a soft visual transition between the housing and the lower land to the south. If the land had been graded as before an objection would not have been raised.
Highways	No objections. No change to local road layout.
Suds	No objections. No change to local drainage envisaged.
Thames Water	No objections.
Berkshire newt officer	No objections but recommend the public open space is laid out and maintained in concert with the as approved CEMP in order to conserve newt habitats on the site.
Tree officer	No objections to the retaining structure. The idea that it could be softened in appearance by additional planting of climbers is a good idea.

Public representations

4.2 Representations have been received from one contributor, who is objecting to the scheme, on the basis that the retaining structure was not shown on the original approved

plans and it will be up to 5m high in places which will have a visual impact. They query whether it will be structurally safe and how it will be maintained.

5. Planning Policy

5.1 Planning law requires that applications for planning permission be determined in accordance with the development plan, unless material considerations indicate otherwise. The following policies of the statutory development plan are relevant to the consideration of this application.

- Policies ADPP1, ADPP6, CS18 and 19 of the West Berkshire Core Strategy 2006-2026 (WBCS).
- Policy SDB1 of the Stratfield Mortimer Neighbourhood Development Plan (2017) Bullet point 5.

5.2 The following material considerations are relevant to the consideration of this application:

- National Planning Policy Framework (NPPF)
- Planning Practice Guidance (PPG)
- West Berkshire Quality Design Supplementary Planning Document

6. Appraisal

6.1 The main issues for consideration in this application are:

Whether the details of the reserved matters comply with National and Local planning policy;

Whether the visual impact of the proposed retaining structure will be acceptable in the local area context.

Principle of development

6.2 The principle of the development has been established by the outline permission. The details of the additional landscaping reserved matters are considered below.

Character and appearance

6.3 This is the crux of the issue in this application, in the view of the case officer. On the one hand it is noted that the retaining structure will inevitably have an additional visual impact over and above a soft graded transition in landform between the housing and the public open space to the south. Having said that however the approved height and layout of the housing in phase 2b will have a greater visual impact than the retaining wall, given their relative height, mass and location. In addition, via condition the retaining wall can be planted up with landscaping which over time will assist in softening its appearance. Whilst it is accordingly appreciated that the application goes against the spirit of policy SDB1 in the NDP, the additional impact of the new structure relative to the visual impact caused by the overall housing allocation, once completed, is, on balance, considered acceptable.

6.4 The case officer has viewed the site from the south where there is a public highway and a footpath which traverses the field to the south. Photos will be available at Committee

to show this aspect of the site which are taken when the trees are not in leaf, so show the site at its most exposed. These show that the visual dominance of the dwellings will effectively make the retaining structure recede, in the viewer's eye.

- 6.5 The public open space provision will not be compromised by the approval of this reserved matters, so in that sense the proposal continues to comply with the advice in policy CS18 relating to green infrastructure in the Core Strategy. This policy notes [inter alia] that "new developments will make provision for high quality and multifunctional open spaces of an appropriate size and also provide links" into that space. Despite the retaining structure, links will still be provided into the space particularly as none could in any event be provided via the rear gardens of the existing approved plots.

Other matters

- 6.6 Please note the outline permission for the scheme approved the layout and access. The reserved matters of appearance, scale and some of the landscaping have also been approved under previous reserved matters. The proposed retaining structure forms part of the reserved matters as it corresponds to landscaping. The actual layout of phase 2 as approved will not alter as a consequence of this application.
- 6.7 The rear gardens of the plots behind the proposed retaining wall will now be terraced. The submitted topographical information and section drawings provide an indication that these gardens will provide acceptable private amenity space that would be useable and of a quality to comply with the Quality Design SPD. However, the section drawings do not show the gradients for all of the plots and this is required in order to be satisfied future residents will have suitable garden space. This is recommended as a condition.
- 6.8 The consultees have not raised any concerns with regard to the submitted planting and seeding plan, landscape ecological management plan, landscape specification, or tree and shrub palette which have been submitted as part of this landscaping reserved matters application. These details with the application are considered acceptable and can be secured by condition.
- 6.9 The parish council have raised a query as to whether the future maintenance of the retaining wall should be paid for by an additional S106 contribution, and the public representation also raised maintenance in their comments. Officers are exploring the ongoing management/governance and maintenance of the retaining wall and will be able to provide an update on this matter in the update sheet ahead of the Committee meeting. At this stage it is considered that should the application be approved a condition requiring maintenance details of the retaining wall be applied, and be subject to a S106 (most likely a deed of variation to the original S106) for the management of the retaining wall.

7. Planning Balance and Conclusion

- 7.1 There will be an additional visual impact caused by the proposed retaining wall. The structural necessity of the scheme is also prayed in aid in support of the retaining wall. It will also enable the future successful delivery of the housing site, including affordable dwellings.
- 7.2 Accordingly, in environmental terms the application will create a degree of harm, in social terms it would continue to enable the development and associated provision of affordable housing and public open space, and in economic terms it would also continue to enable the development to be constructed.

8. Full Recommendation

- 8.1 PROVIDED THAT a Section 106 Agreement has been completed by 25 August 2023 (or such longer period that may be authorised by the Service Director – Development & Regulation, in consultation with the Chairman or Vice Chairman of the Western Area Planning Committee), to delegate to the Service Director – Development & Regulation to GRANT PLANNING PERMISSION subject to the conditions listed below.
- 8.2 OR, if a Section 106 Agreement is not completed within the above timescale, to REFUSE PLANNING PERMISSION for the reasons listed below.

CONDITIONS

1. Link between reserved matters and outline

This approval relates solely to the reserved matters referred to in condition 1 of the outline planning permission granted on 11 June 2019 under application reference 19/00981/OUTMAJ and associated 22/01578/NONMAT. Nothing contained in this proposal or this notice shall be deemed to affect or vary the conditions applied to that outline planning permission.

Reason: For the clarity and the avoidance of doubt. The reserved matters cannot be considered separately from the permission to which they relate and the conditions applied on that outline permission are still applicable.

2. Approved Plans

The development must be built out in strict accord with the following approved plans:

Location Plan 2095 P 01

Planting and Seeding Plan JSL2720-510 Rev G,

Typical Tree and Shrub Palette JSL2720-550-Rev A,

Plan of Permacrib Wall 300-2200064-SK1,

Elevation of Permacrib Wall 300-2200064-SK2,

Typical Section of Permacrib Wall 300-2200064-SK3.

PHI Group Operation and Maintenance – Parmacrib document.

RPS Southern Open Space – Soft Landscape Specification JSL2720 2.0 January 2023 including JSL2720-571.

RPS Landscape and Ecological Management Plan JSL2720_580 3.0 April 2020 including JSL2720-580-Rev 4,

Site Section Location Plan Phases 1, 2a & 2b 21-1099-061-A

Sketch Site Section Phase 2B Southern Boundary H-H 21-1099-063

Sketch Development Site Section Phases 1, 2a & 2b 21-1099-060 Rev A.

Reason: For the avoidance of doubt and in the interests of proper planning.

3. Topographical Details

No development works to the retaining wall shall commence until a topographical survey with relevant sections of phase 2 of the approved scheme has been submitted to and approved in writing by the Local Planning Authority. The topographical and sections details shall detail the gardens of each plot which back on to the retaining wall and the public open space area to the south where affected by the retaining wall. Each of the aforementioned dwellings shall not be occupied until its garden has been provided in accordance with the approved details.

Reason: To ensure that the garden sizes of the approved plots meet the criteria for garden areas in the SPD of 2006 on Quality Design and ensure the gradients of the rear gardens are acceptable in providing a useable private amenity space. This condition is applied in accordance with policy CS14 in the West Berkshire Core Strategy 2006-2026 and the Quality Design SPD and the National Planning Policy Framework.

4. Landscaping

All soft landscaping works for phase 2 of the development shall be completed in accordance with the approved soft landscaping scheme (as listed in condition 2 above) within the first planting season following completion of building operations / first occupation of the new dwelling (whichever occurs first). Any trees, shrubs, plants or hedges planted in accordance with the approved scheme which are removed, die, or become diseased or become seriously damaged within five years of completion of this completion of the approved soft landscaping scheme shall be replaced within the next planting season by trees, shrubs or hedges of a similar size and species to that originally approved.

Reason: Landscaping is an integral element of achieving high quality design. This condition is applied in accordance with the National Planning Policy Framework, Policies CS14 and CS19 of the West Berkshire Core Strategy (2006-2026), and the Quality Design SPD.

5. Planting of retaining wall

The dwellings which back on to the retaining wall shall not be brought into use until the retaining wall has been planted in accordance with details which have first been submitted to and approved in writing by the Local Planning Authority. Any trees, shrubs, plants or hedges planted in accordance with the approved scheme which are removed, die, or become diseased or become seriously damaged within five years of completion of this completion of the approved soft landscaping scheme shall be replaced within the next planting season by trees, shrubs or hedges of a similar size and species to that originally approved.

Reason: To ensure the retaining wall is fully integrated into the landscaping of the site in accordance with the Quality Design SPD and Policies CS14 and CS19 of the West Berkshire Core Strategy 2006-2026 and the National Planning Policy Framework.

6. Fencing to retaining wall

Each dwelling which backs on to the retaining wall shall not be brought into use the fencing to the top of the retaining wall for that dwelling has been provided in accordance with the fencing details which have first been submitted to and approved in writing by the Local Planning Authority.

Reason: To ensure that the gardens include anti-climb features to the boundary with the retaining wall in accordance with the Quality Design SPD and policy CS14 of the

West Berkshire Core Strategy 2006-2026 and the National Planning Policy Framework.

7. Maintenance of retaining wall

The dwellings which back on to the retaining wall shall not be brought into use until details of the maintenance of the retaining wall have been submitted to and approved in writing by the Local Planning Authority. Thereafter the retaining wall shall be maintaining in accordance with the approved details.

Reason: To ensure that the retaining wall is maintained and remains fully integrated into the development and landscape in accordance with Policies CS5, CS14, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026 and the National Planning Policy Framework.

S106 HEADS OF TERMS

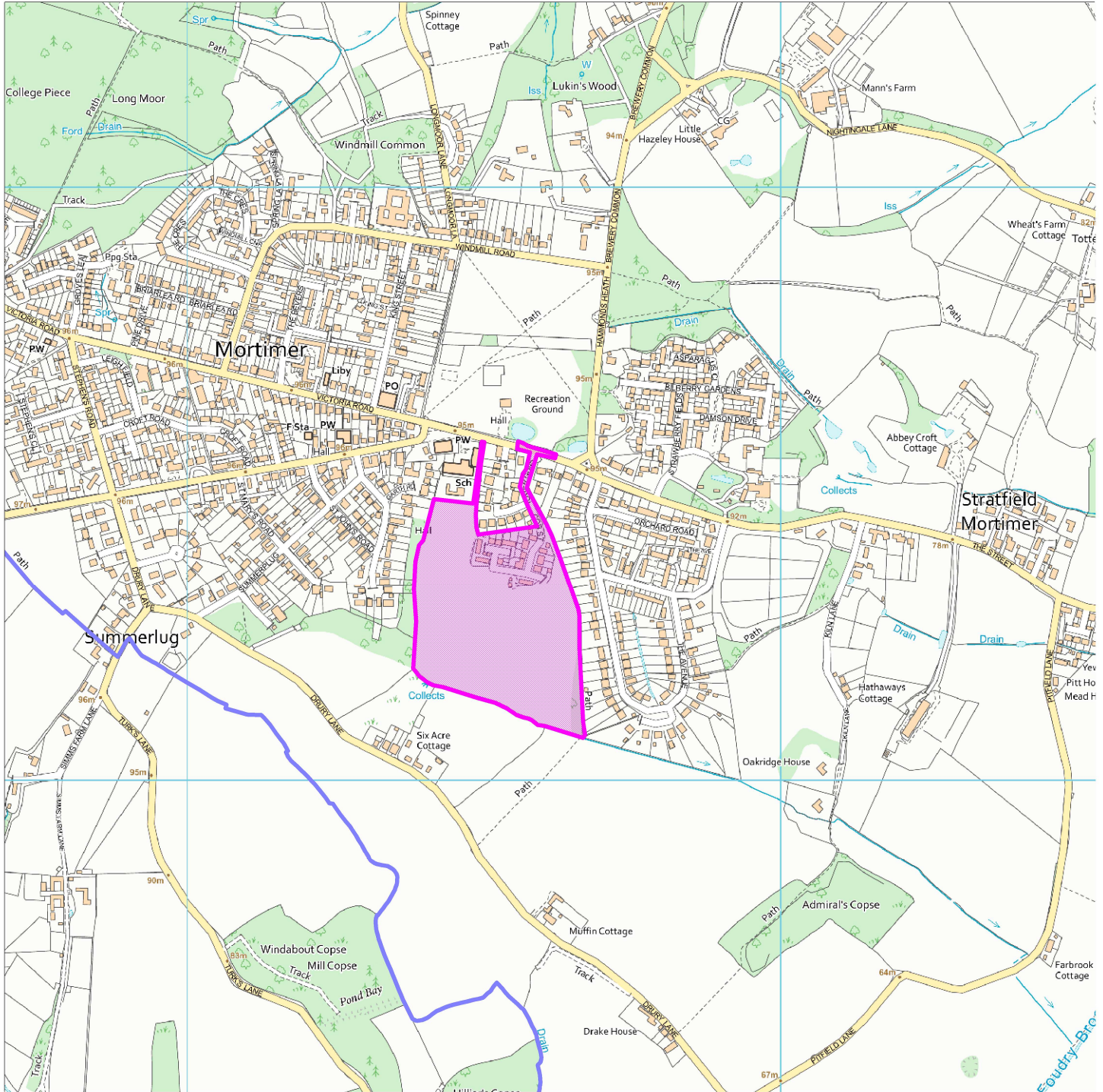
1. Retaining wall

Provision and governance arrangements for the retaining wall for the management and transfer to a long term owner or management company.

REFUSAL REASON (IF S106 LEGAL AGREEMENT NOT COMPLETED)

1. Planning Obligation

The application fails to provide an appropriate planning obligation to mitigate the impact of the development with regard to provision and governance arrangements for the retaining wall. Without this planning obligation the proposed development conflicts with policies CS5, CS14, CS18 and CS19 of the West Berkshire Core Strategy 2006-2026, the Planning Obligations SPD and the National Planning Policy Framework.



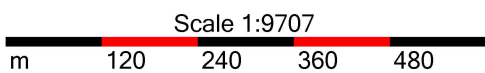
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Organisation	West Berkshire Council
Department	
Comments	
Date	13 April 2023
SLA Number	0100024151



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**Plans and drawings relevant to reports
submitted to Eastern Area Planning Committee**

Wednesday 26th April 2023 at 6.30pm

**At Council Chamber, Council Offices, Market Street,
Newbury, RG14 5LD**

And via Zoom

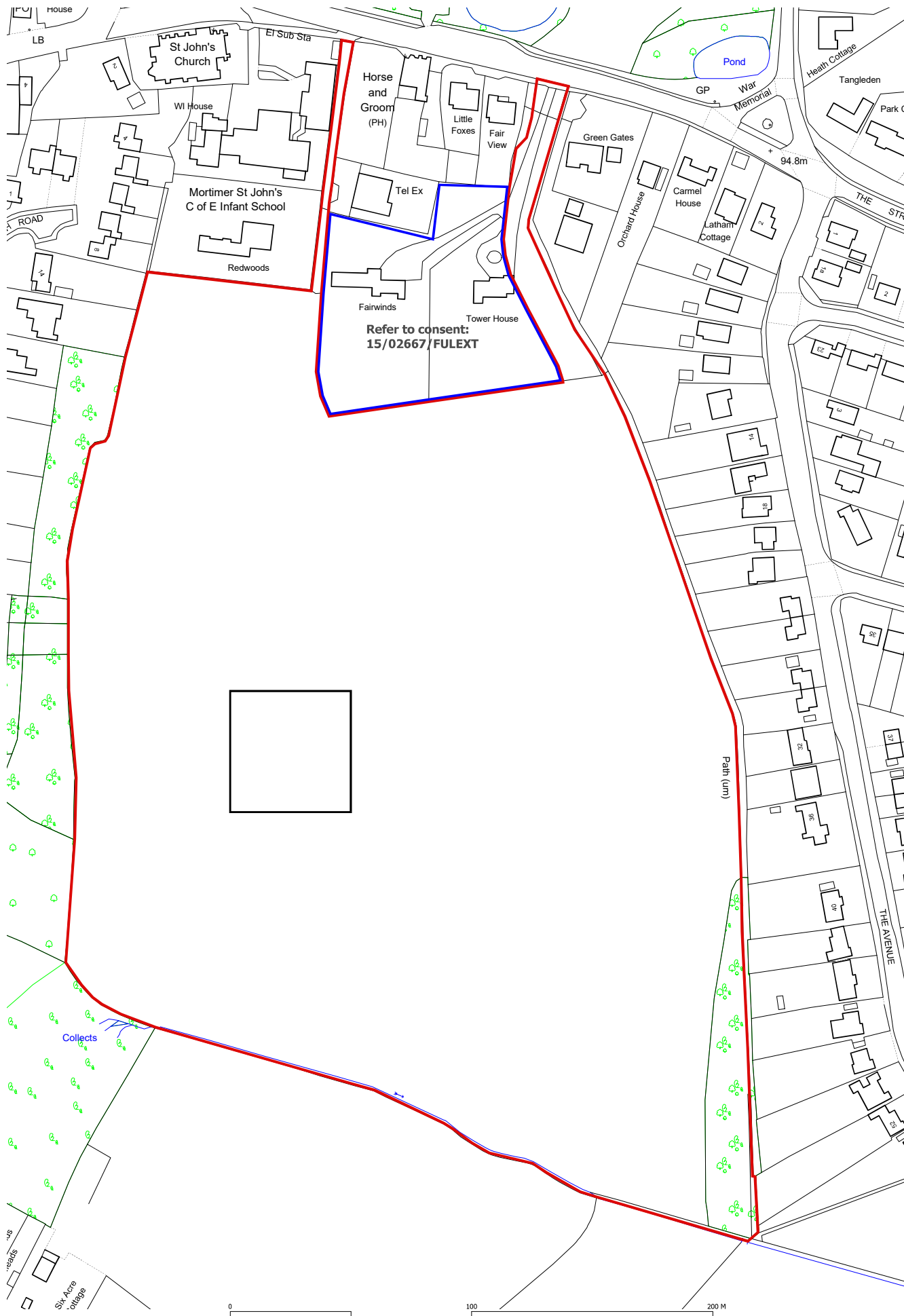
[to be read in conjunction with the main agenda]

Please note:

- *All drawings are copied at A4 and consequently are not scalable*
- *Most relevant plans have been included – however, in some cases, it may be necessary for the case officer to make a selection*
- *All drawings are available to view at www.westberks.gov.uk*



23/00072/RESMAJ
Land South Of Tower Gardens
The Street
Mortimer Common



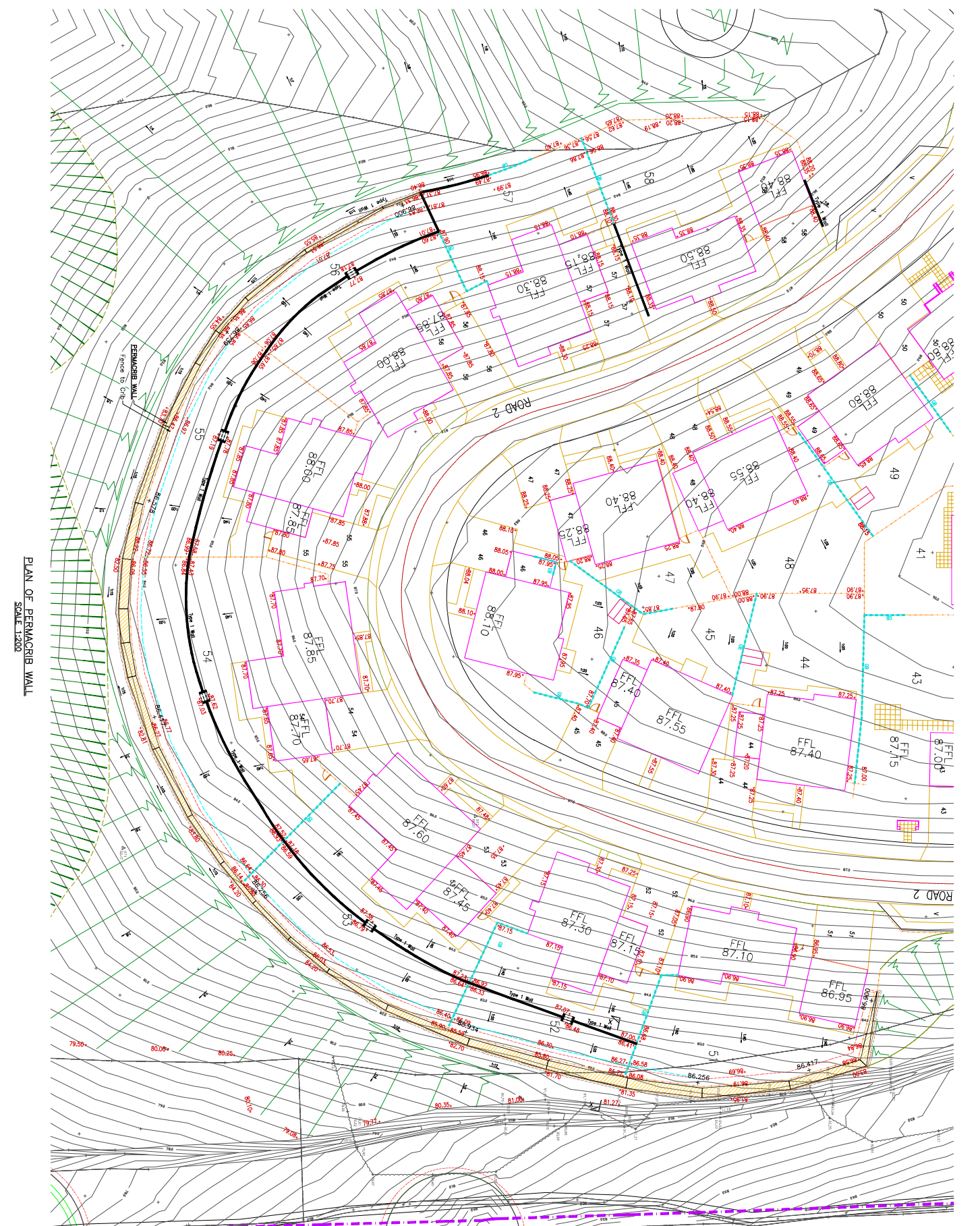
REV: DATE: AMENDMENTS: DRAWN: CHECKED: CLIENT: T A Fisher

DRAWING: Location Plan DATE: Feb'17

SCALE: 1:1000 @ A2 (1:2000 @ A4) DWG NO: 2095 P 01 REV: #

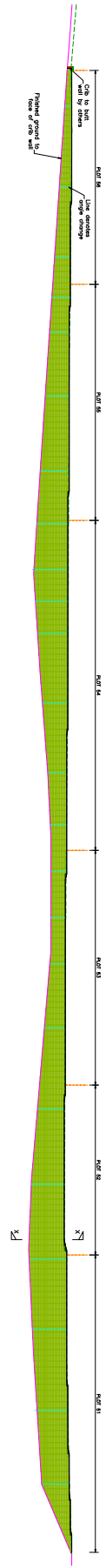


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PLAN OF PERMACRIB WALL
SCALE 1:200

<p>PHI GROUP ANELLER COMPANY</p> <p>Head Office: 100, Old Street, London, EC1A 1RS Tel: 020 7292 3200 Fax: 020 7292 3201 Email: info@philgroup.co.uk</p> <p>Regional Offices: London, Manchester, Birmingham, Leeds, Bristol, Cardiff, Glasgow, Edinburgh, Liverpool, Newcastle, Nottingham, Oxford, Plymouth, Southampton, York</p> <p>Phil Group is a member of the Arup Group of Companies. For full details visit www.philgroup.co.uk</p>	<p>PLANNING</p> <p>Project: TAFSHER TOWER HOUSE FARM NORTHMER, READING, BERKSHIRE, RG7 3RD</p> <p>Plan of PERMACRIB WALL</p>	<p>Client: TAFSHER TOWER HOUSE FARM NORTHMER, READING, BERKSHIRE, RG7 3RD</p> <p>Project No: 300-2200064-SK1</p> <p>Date: 10/11/11</p> <p>Scale: 1:200</p> <p>Author: [Name]</p> <p>Checker: [Name]</p> <p>Drawn: [Name]</p> <p>Reviewed: [Name]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>	<p>Approved by: [Signature]</p> <p>Date: [Date]</p>
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ELEVATION OF PERMACRIB WALL
SCALE 1/2"

		PHIGROUP AMERICOMM 10000 W. 10th Avenue, Suite 100 Denver, CO 80202 Phone: 303-750-1000 Fax: 303-750-1001 Email: info@phigroup.com	
PLANNING		PERMACRIB PERMACRIB WALLS	
PROJECT: TOWER HOUSE FARM HOMEOWNER: BOB AND JILL WOOD ADDRESS: 10000 W. 10th AVENUE, DENVER, CO 80202		DATE: 10/15/2014 DRAWN BY: J. WOOD CHECKED BY: J. WOOD SCALE: 1/2" = 1'-0"	
ELEVATION OF PERMACRIB WALL		300-2200064-SK2	

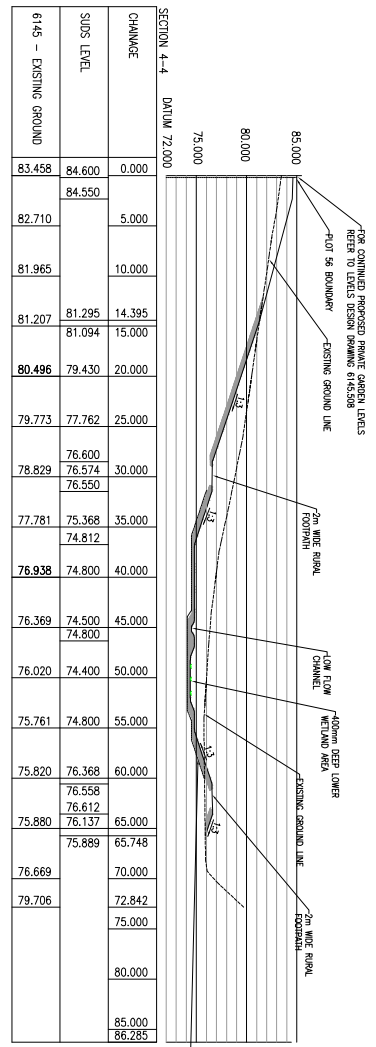
GENERAL NOTES:

1. ALL DIMENSIONS SHOWN ARE IN METERS UNLESS STATED OTHERWISE.
2. THIS DRAWING IS BASED ON TOPOGRAPHICAL SURVEY DATA.
3. **Ed H. Roberts**
P. Eng.
& Associates

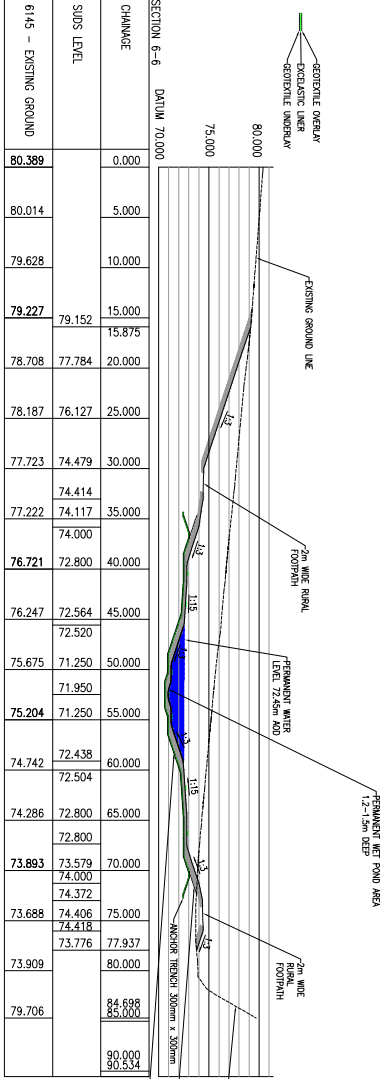
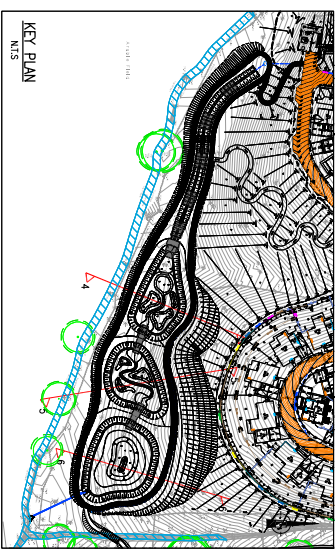
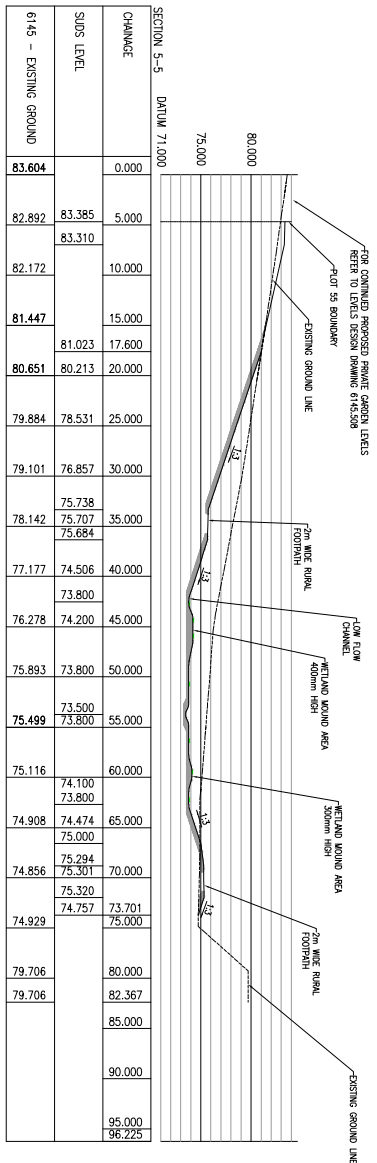
LAND & EXISTING BUILDING SERVICES

Existing Building Footing Survey
 The Building Footing Survey was conducted by Ed H. Roberts & Associates
 P. Eng. & Associates
 1001-1005 15th Avenue SW
 Vancouver, BC V6C 1P5
 Tel: 604-681-3333
 Email: info@edroberts.com

1. GRID SPACING IS A LOCAL PLATE GRID ONLY.
2. ALL DIMENSIONS ARE TO FACE UNLESS SPECIFIED OTHERWISE.
3. CONNECTION WITH ALL RELEVANT SHARE BUILDINGS AND SPECIFICATIONS OR SETTING OUT FOR THE WORKS, THE CONTRACTOR SHALL ESTABLISH CORNER POINTS AND SPECIFICATION CORNER POINTS SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
4. ALL DIMENSIONS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.
5. ALL DIMENSIONS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.
6. THE SITE WORK WITH THE ORIGINAL SITE SURVEY DATA MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.
7. ALL DIMENSIONS MUST BE MAINTAINED THROUGHOUT CONSTRUCTION.
8. FOR CONSTRUCTION DETAILS REFER TO THE SPECIFICATIONS AND DRAWINGS.
9. THE DRAWING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
10. THE DRAWING SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.



EXISTING GEOTECHNICAL CUTTINGS OR BORINGS (SUBJECT TO LANDSCAPE ARCHITECT MUTUAL SPECIFICATION FOR PLANTING)



PROPOSED WET LAYER LINER SYSTEM COMPRISING 300mm GRP PUNCH PORE RESISTANT GEOTEXTILE LINER AND 300mm TORSION COVER (SUBJECT TO GEOTECHNICAL CONSULTANT'S APPROVAL) AND GEOTEXTILE LINER WITH WELDING SEAMS PRODUCED AND INSTALLED BY GEOTECHNICAL TECHNOLOGY, OR SIMILAR APPROVED.

EXISTING GEOTECHNICAL CUTTINGS OR BORINGS APPROVED WITH 300mm OF SIMILAR APPROVED WITH 300mm OF TORSION COVER (SUBJECT TO GEOTECHNICAL CONSULTANT'S APPROVAL) AND GEOTEXTILE LINER WITH WELDING SEAMS PRODUCED AND INSTALLED BY GEOTECHNICAL TECHNOLOGY, OR SIMILAR APPROVED.

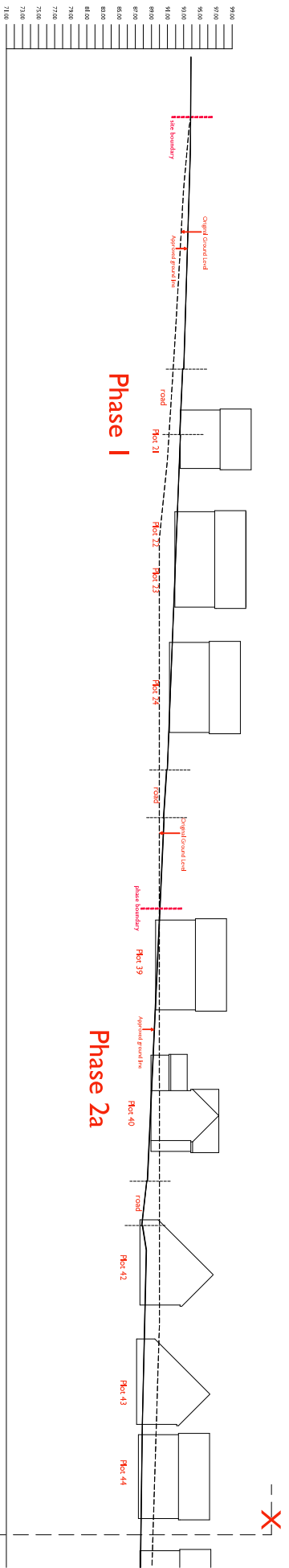
STUART MICHAEL ASSOCIATES
 CONSULTING ENGINEERS

TAFISHER
 CONSULTING LANDSCAPE ARCHITECTS

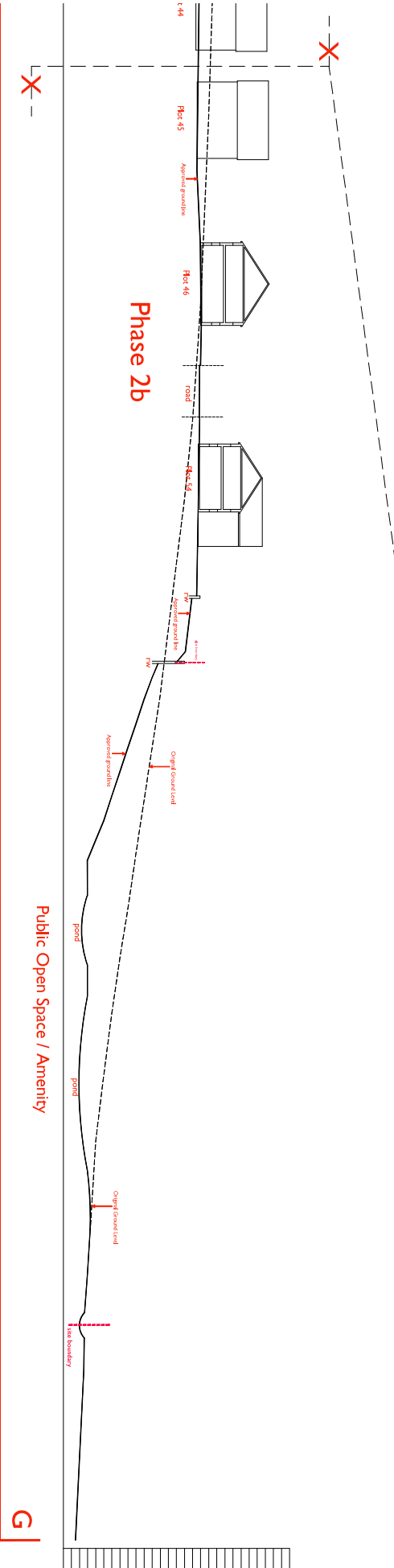
ASSOCIATES
 CONSULTING ARCHITECTS

Smart Michael Associates Ltd.
 400-1000 Burrard Street
 Vancouver, BC V6C 1P5
 Tel: 604-681-7711
 Fax: 604-681-7712
 Email: info@smartmichael.com

Tafisher
 1000 Burrard Street
 Vancouver, BC V6C 1P5
 Tel: 604-681-7711
 Fax: 604-681-7712
 Email: info@tafisher.com



Sketch Full Development Site Section For Phases 1, 2a & 2b. G - G. Scale 1:250 at A1

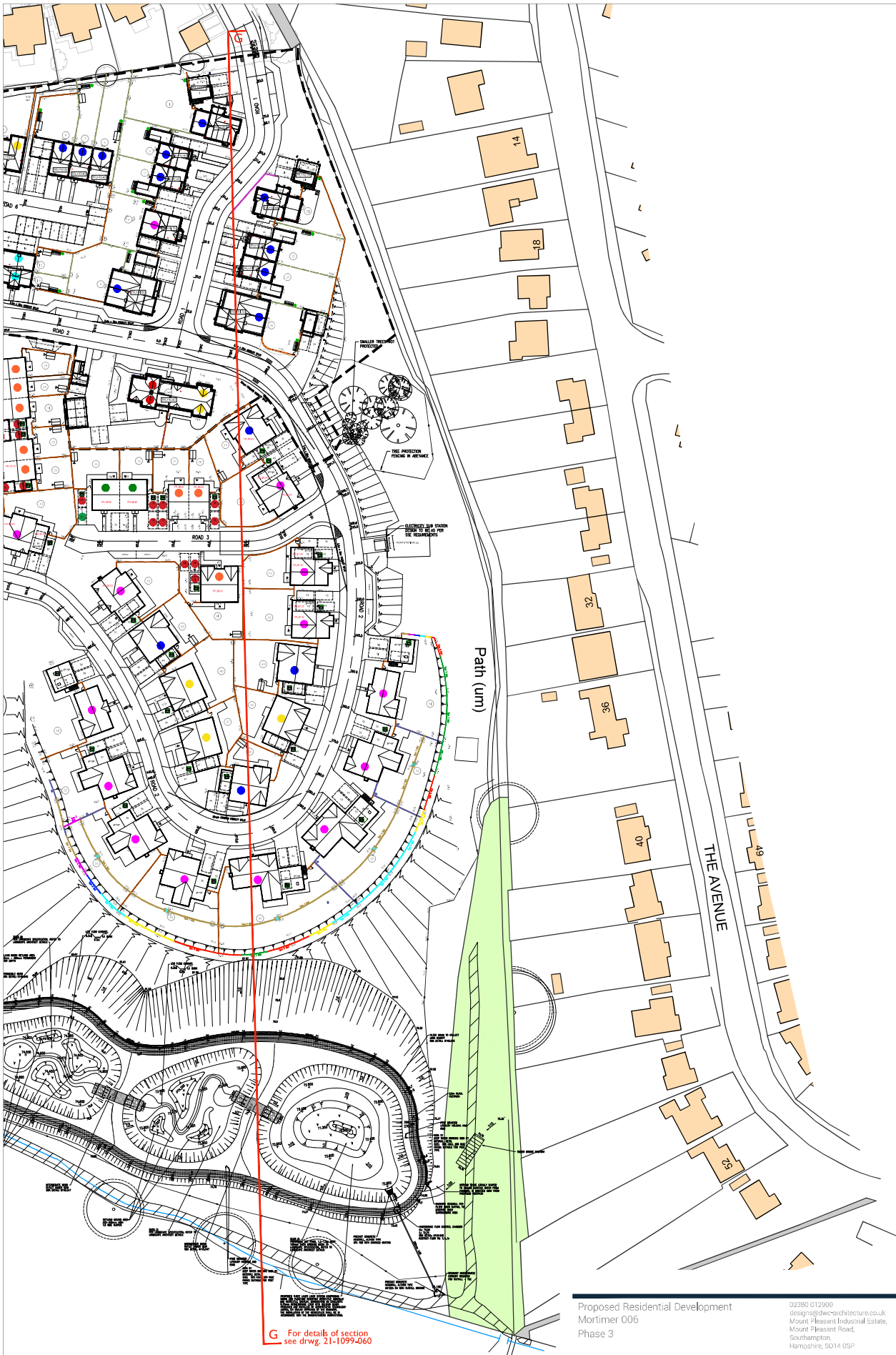


Continuation



T A Fisher
 Proposed Residential Development
 Site Section, Phases
 1, 2a & 2b
 Planning Information
 21-1099-060 A





G For details of section see drwg. 21-1099-060

Proposed Residential Development
Mortimer 005
Phase 3

02380 012900
design@dwcarchitecture.co.uk
Mount Pleasant Industrial Estate,
Mount Pleasant Road,
Southampton
Hampshire, SO14 0SP



T.A. Fisher

Site Section Location
Plan, Phases 1, 2a &
2b.

SCALE	UNIT	DATE	REV	DATE
1:1000	A3	ML	**	28/02/2023

PLANNING INFORMATION

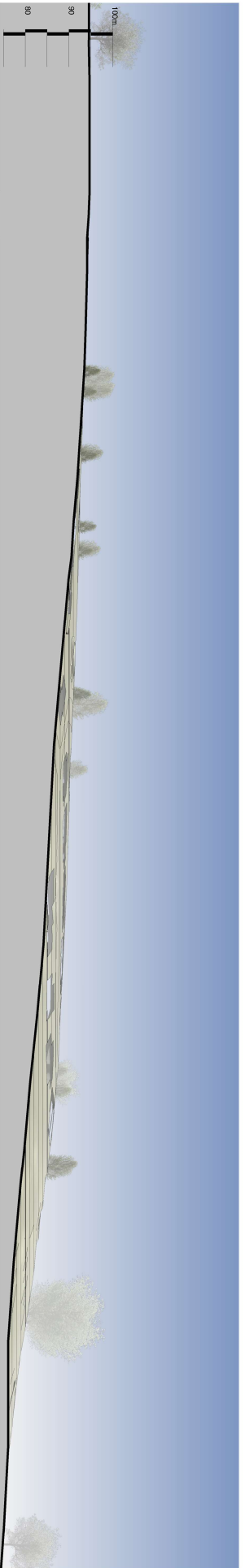
21-1099-061

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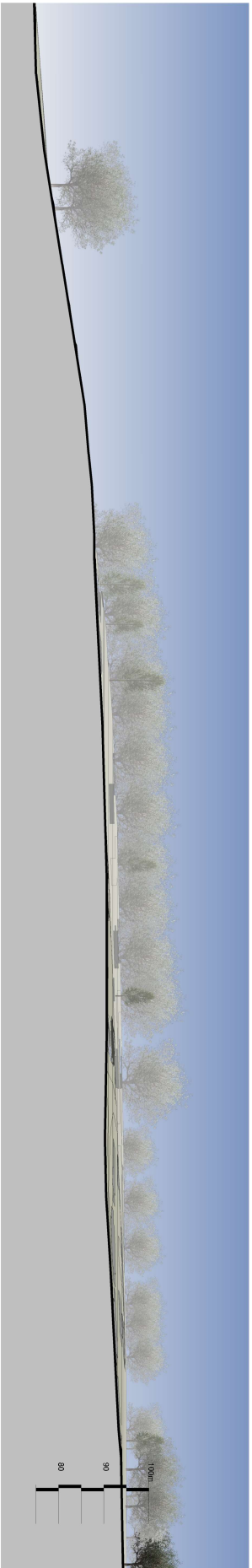


17/03004/OUTMAJ – Comparison Plans

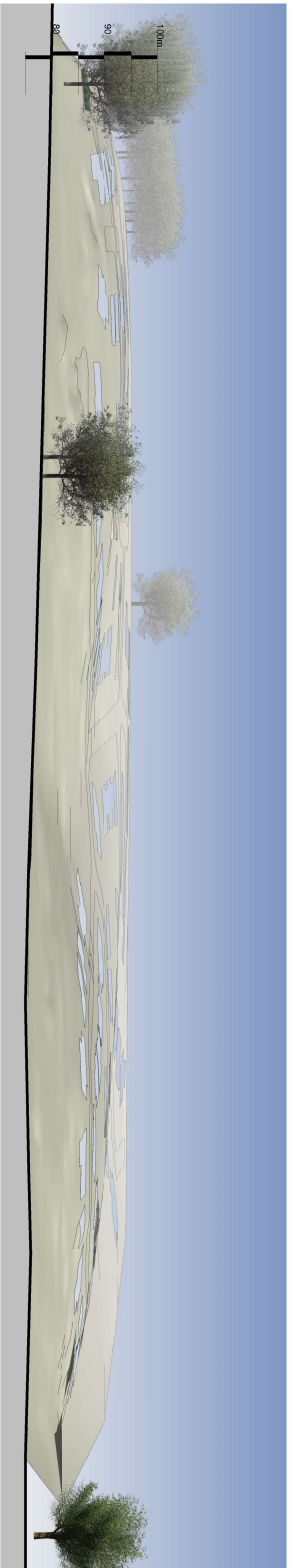
- Site Sections - Existing (P04-B)
- Site Sections - Proposed (P05-B)



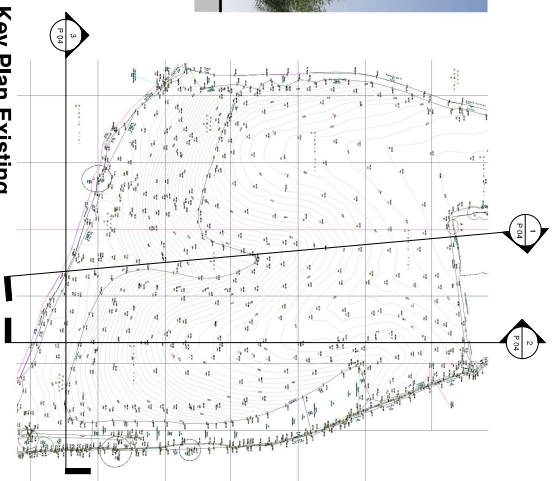
Street Scene - Section 1 Existing
1 : 500



Street Scene - Section 2 Existing
1 : 500



Street Scene - Section 3 Existing
1 : 500



Key Plan Existing
1 : 2000



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Streetscene - Section 1 Proposed Indicative
1 : 500



Streetscene - Section 2 Proposed Indicative
1 : 500



Streetscene - Section 3 Proposed Indicative
1 : 500



Key Plan
1 : 2000

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